

Building Inspection Report

----- South Burlington, VT

Inspection Date:
08/29/2013

Prepared For:

Prepared By:
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Report Number:
-----.0813

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Report Overview / Summary

THE HOUSE IN PERSPECTIVE

This is a well built 56+- year old L-Ranch that has been reasonably well maintained and seen interior refurbishing but has lacked updating in major systems. Although some work remains, the house can be considered in good, general, up to date condition. The street setting is pleasant and it is in a well kept section. With recommendations followed, this should remain a comfortable, relatively easily maintained home.

Apart from the short term need to deal with some lacking maintenance, the improvements that are recommended in this report are not considered unusual for a home of this age and location.

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report:

Major Concern: a system or component that is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Improve: denotes improvements that are recommended but not required right away.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Deferred Cost: denotes significant improvements that are imminent – likely in the short term.

Links: URL links (colored in blue) will bring you to a helpful web page by using **Ctrl + click**



A qualified professional will be recommended to effect repairs/replacement in many of the recommendations in this report. Where not specifically stated, this recommendation should be assumed as noted at the beginning of each section.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long-term improvements/suggestions.

Adobe Acrobat Reader Tips:



<http://www.adobe.com/products/reader/>

1. Use the ‘zoom tool’ for the photos.

2. You can use the *pages (or thumbnails)* found on the left hand Navigation Pane to skip around this report quickly.

SUMMARY OF DEFECTS / OBSERVATIONS

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term along with other selected observations. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations you may consider significant and/or necessary.

Any professionals consulted or contracted for the following should read the pages of the report that are relative to the concern.

Major Item/Concern(s):

- **Major Concern:** The composition shingle roofing on the detached garage is at end of its life **Page 10**
- **Monitor: Possible Major Concern:** Foundation bowing and cracking was observed most pronounced in the east section. **Page 7**

Safety Concern(s):

- **Safety Issue:** The electric system revealed the need for improvements and a few repairs. **Page 16-18**
- **Safety Issue:** Bee nests were noted in the gable vents. **Page 12**
- **Safety Issue:** The detached garage system revealed the need for several repairs. **Page 13**
- **Safety Issue:** A handrail should be provided for the west deck. **Page 14**
- **Safety Issue:** The openings in the west deck railing are large enough to allow a child to fall through. **Page 14**
- **Safety Issue:** The heating system shows evidence that exhaust products are “back drafting”. **Page 20**

Repair Item(s):

- **Repair:** Damaged/cracked siding should be repaired **Page 12**
- **Repair:** Localized rot was observed in the trim above an east window. **Page 13**
- **Repair:** A proper flashing should be provided at the intersection of the exterior wall of the house and the deck **Page 14**
- **Repair:** The boiler requires service by a qualified, professional heating technician **Page 19**
- **Repair:** Unsealed opening in the waste piping should be corrected. **Page 23**
- **Repair:** The fireplace damper is rusted away and requires repair. **Page 27**
- **Repair:** The operation of the clothes washer is suspect. A sewer odor was detected **Page 29**

Improve:

- **Improve:** The gas meter at the west side of the home should be better protected **Page 24**

Monitor:

- **Monitor:** The basement shows evidence of moisture penetration **Page 7**
- **Monitor:** The chimney shows evidence of movement **Page 10**

Deferred Cost:

- **Deferred Cost:** The front porch masonry is deteriorating noticeably. **Page 14**
- **Deferred Cost:** The water heater is an old unit that is beyond the expectation of its useful life. **Page 23**
- **Deferred Cost:** The boiler is considered old It would be wise to budget for new. **Page 19**

END OF SUMMARY

THE SCOPE OF THE INSPECTION

All components designated for inspection in the NAHI® Standards of Practice are inspected, except as may be noted in the “Limitations of Inspection” sections within this report. A copy is available upon request. These can also be accessed on the NAHI website: : [National Association of Home Inspectors](http://NationalAssociationofHomeInspectors) or my website: <http://burlingtonhomeinspection.net>.



It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind.

This inspection is visual only. Representative samples of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.
The estimated outside temperature was 78+- degrees F.

RECENT WEATHER CONDITIONS

Occasional rain has been experienced in the days leading up to the inspection.

For the purpose of this report, it is assumed that the house faces north.



Structure/Basement

DESCRIPTION OF STRUCTURE/BASEMENT

Foundation Material:	•Concrete Block
Basement Floor:	•Concrete Floor
Foundation Design:	•Basement Configuration
Columns:	•Steel Column – 3 inch
Floor Carrying Beams:	•Size: Triple 2x8 inch
Floor Structure:	•Wood Joist - Size: 2x8 inch @ 16 inches oc •3/4 Inch Tongue & Groove Plank Sheathing
Wall Structure:	•Wood Frame •Wall Frame Thickness – 4 Inch
Attic Access:	•In the Hallway
Ceiling Structure:	•Joist
Roof Structure:	•Rafters - Size: 2x6 inch @ 16 inches oc •3/4 Inch Tongue & Groove Plank Sheathing

STRUCTURE/BASEMENT ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.



Positive Attributes

The construction of the home is considered to be good quality. The materials and workmanship, where visible, appear to employ average to above average characteristics. The wood frame exterior walls of the home appear to be at least 4 inches thick. When sighted down their length they were observed to be straight and flat. Ample ground clearance from the wood structure and trim was noted.

The spans of all observed joists and rafters appear to be within acceptable limits and no appreciable movement was noted when floors were 'bounced upon'. They were observed to be clean and free of rot with only minor, typical cracks. The carrying beams and support columns were reasonably straight and in good condition with no significant rust or rot. The exterior plane of the roof was even and flat. The basement floor slab observed is in good condition – flat and even. It has typical cracks usually the result of shrinkage and/or settling of the slab.



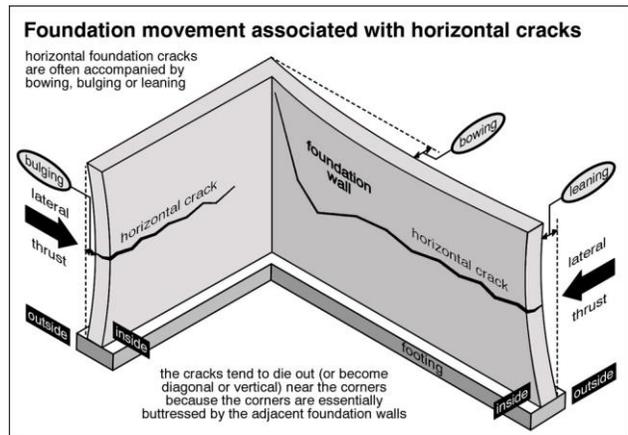
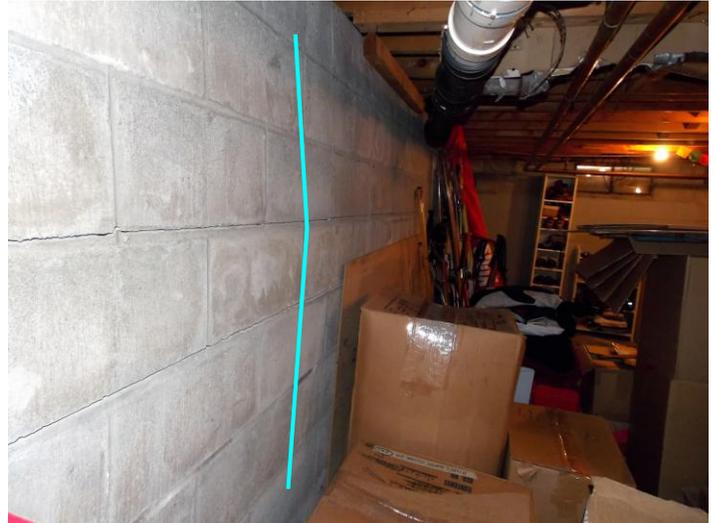
General Comments

The foundation walls were straight and even, however cracks and bulges were noted in the observed walls.

DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Foundations

- Monitor:** Foundation bowing and cracking was observed in all walls however most pronounced in the east section. This is usually the result of excessive soil or frost pressure on the foundation. Lot drainage and foundation improvements should be addressed to keep water away from the building, and these cracks should be monitored. Recommend professionally filling these cracks. The rate of movement cannot be predicted during a one-time inspection. A structural engineer or qualified foundation repair contractor should be consulted to assess this condition and the remedies available for the east wall.



Basement Leakage

- Monitor:** The basement shows evidence of moisture penetration evidenced by: / Staining / watermarks – on the floor / efflorescence / elevated storage . Virtually all basements exhibit signs of moisture penetration and virtually all basements will indeed leak at some point in time. The visible evidence is above average for a home of this age, construction and location. Basement leakage rarely affects the structural integrity of a home but can cause other problems such as excess humidity and mold.

The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. Think of the home as sitting on top of the Pitcher's mound in Baseball. The ground around the house should be sloped to encourage water to flow away



from the foundations. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation, are the most common source of basement leakage. Please refer to the Roofing and Exterior sections of the report for more information.

Lot and roof drainage improvements should be undertaken as a first step. Excavation, damp-proofing and/or the installation of drainage tiles should be a last resort. In some cases, however, it is necessary.

Wood Boring Insects

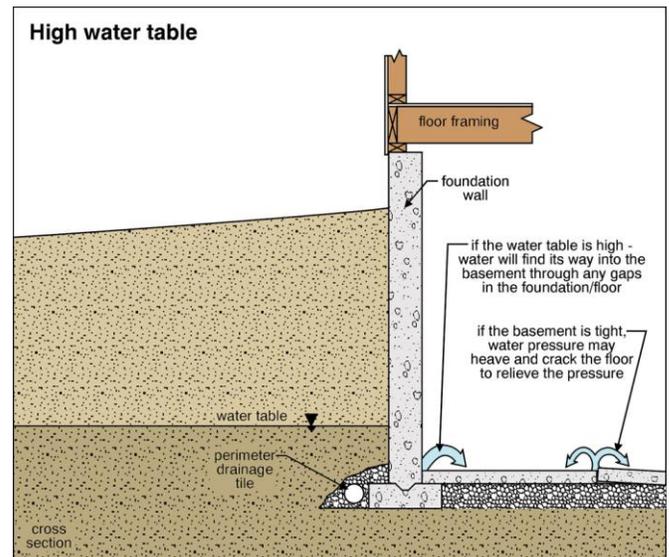
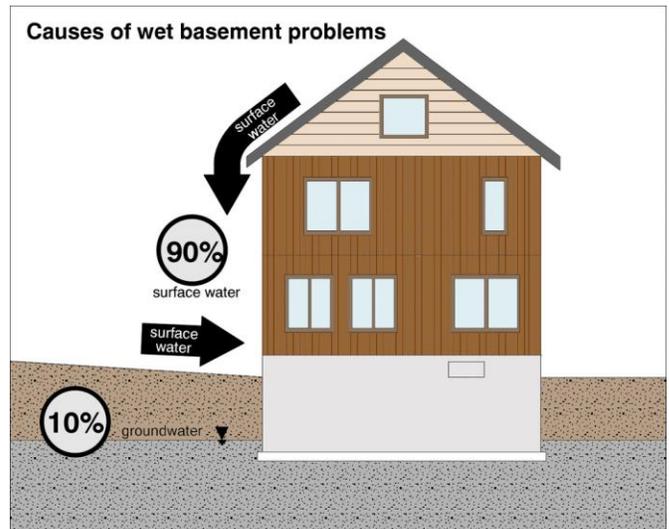
- **Monitor:** Conditions that are attractive to wood boring insects should be avoided since they can damage the property. These conditions include the storage of wood in damp environments, wood rot or wood/soil contact around the perimeter of the home (decking, siding, etc.), damp soils, leaky roofs, and unventilated spaces (roofs, garages, crawl spaces, etc.).

LIMITATIONS OF STRUCTURE/BASEMENT INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.
- The roof space/attic was viewed from the access hatch only.
- No access was gained to the wall cavities of the home.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



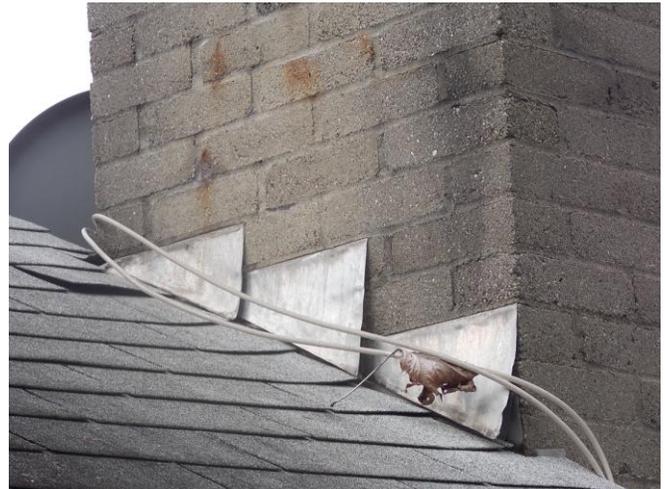
Roofing

DESCRIPTION OF ROOFING

Roof Covering:	•# of Layers: 1 (two on the garage) •Asphalt Composition Shingle
Roof Flashings:	•Galvanized Metal Dripedge •Roofing Material (Shingles) in the Valleys •Counter Flashing (chimney)
Chimneys:	•One: •Brick - 2 Flues: Located at the west slope
Roof Drainage System:	•Aluminum •Full Installation •Downspouts discharge above & below grade
Skylights:	•None
Method of Inspection:	•Viewed from Ladder at Eave

ROOFING ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.



Positive Attributes

The composition shingle roofing on the main slope is considered to be in fair condition. The shingles are, for the most part, even with square corners and laying flat. No missing or damaged shingles were noted. Slight curling at the edge of the shingles and some loss of particulate were noted. These conditions are a normal sign of age and brittleness of the shingles. You should expect a few years of performance from this roof covering. This material is estimated to be 18+- years old.

No active roof leaks were noted from the underside of the roof sheathing observed or from interior surfaces observed. Roof flashing details appear to be in good order. The installation of the roofing materials has been performed in a professional manner. Installation details look neat and trim. Rain caps and vermin screens have been installed on the masonry chimney flues. The gutters are clean. A plumbing vent pipe was observed to penetrate the roof at normal height and in good condition.



General Comments

In all, the roof coverings show evidence of normal wear and tear for a home of this age. The configuration of the roofing system is susceptible to ice damming and related leaks. This should be watched for during the winter months. The potential for ice dams can vary with the severity of the winter. Ice dams often can result in roof leakage, typically near the eaves.

Solutions include better attic insulation and ventilation, eave protection below the roof coverings, even excess snow removal when needed (take care to not damage the roofing material).

DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Sloped Roofing

- **Major Concern, Repair:** The composition shingle roofing on the detached garage is at end of its life and should be replaced. A qualified experienced roofing contractor should perform this work.
 - It is recommended that the present layers of roofing materials be removed prior to re-roofing. This adds cost of demolition and debris removal to the re-roof cost.
 - Install proper roof flashing materials when re-roofing to avoid leaks in these areas.



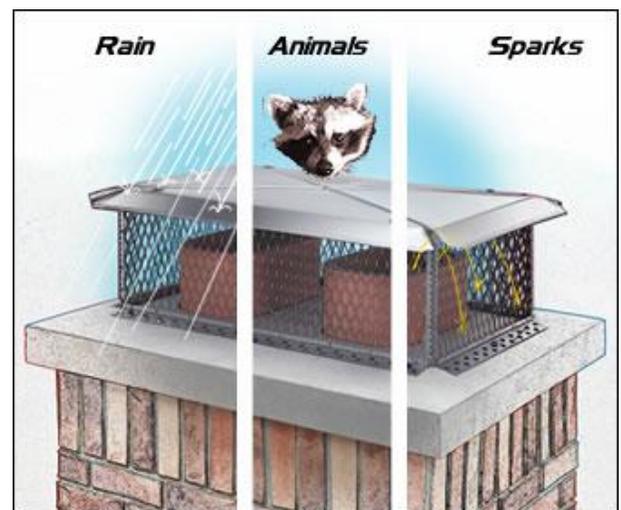
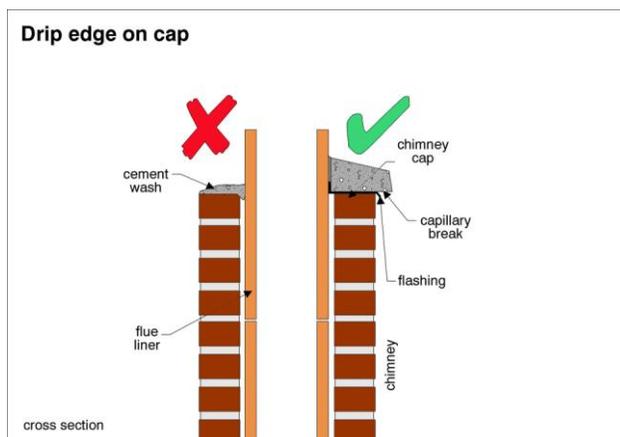
Chimneys

- **Repair:** The fireplace chimney flue should be swept and inspected by a C.S.I.A. certified chimney sweep before use. Have the Chimney Sweep check for any damaged flue tiles. Relining a chimney can be relatively expensive.
- **Monitor:** The chimney shows indication of movement evidenced by vertical cracking. Since chimney movement can damage the chimney's interior flue (an unsafe condition) you should have the chimney inspected by a qualified chimney sweep or mason.



DISCRETIONARY IMPROVEMENTS

The installation of a metal roof with vermin screen on large chimneys is a logical improvement.



LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Interior finishes may disguise evidence of prior leaks.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Portions of the roof were viewed from a ladder at the edge of the roof. Some sections of the roof were not in view.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Exterior

DESCRIPTION OF EXTERIOR

Wall Covering:	<ul style="list-style-type: none"> •Vertical Wood Siding •Wood Shingle Siding •Brick Siding @ Front •Hardboard Siding on the detached garage
Eaves, Soffits, and Fascias:	<ul style="list-style-type: none"> •Wood
Exterior Doors:	<ul style="list-style-type: none"> •Insulated Metal with Storm Doors •Solid Wood with Storm Doors •French Doors
Window Frames and Trim:	<ul style="list-style-type: none"> •Wood Windows with Metal - Triple Track - Storms
Entry Driveways and Parking:	<ul style="list-style-type: none"> •Asphalt
Entry Walkways and Patios:	<ul style="list-style-type: none"> •Natural Stone Paved Walk @ Front
Porches, Decks, Steps, Railings:	<ul style="list-style-type: none"> •Wood Entry Porch @ Front with Concrete Floor •Wood Porch @ West Entry with Wood Railings •Treated Wood Deck @ Rear
Overhead Garage Door(s):	<ul style="list-style-type: none"> •Wood with Hardboard Panels •Automatic Opener Installed (infrared light beam)
Surface Drainage:	<ul style="list-style-type: none"> •Level Grade
Retaining Walls:	<ul style="list-style-type: none"> •None
Fencing:	<ul style="list-style-type: none"> •Wood Panel/Lattice Fence •Wood Picket Fence

EXTERIOR ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.

Positive Attributes

The overall lot drainage was good. It looks like it will conduct surface water away from the building and off the lot (see observations below). The driveway and parking area appeared in good general condition. There were no serious dips, cracks, ruts, or holes. The wood fences were observed to be straight and even.

The wood siding that has been installed on the house is relatively low maintenance. It was observed to be lying flat and in fair condition with only a few loose or damaged pieces. The brick siding is in good condition. Cracking or loose mortar was not evident. The bricks lay flat on the wall.

There is no significant wood/soil contact around the perimeter of the house, thereby reducing the risk of insect infestation or rot. The wood window frames are in generally good condition. All doors were opened and they operated freely. The deck(s) appear to be constructed from pressure treated wood – a rot resistant material.



DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Exterior Walls

- **Repair:** Damaged/cracked siding at the rear deck wall and in a few other locations should be repaired or replaced prior to painting. Any badly damaged pieces should be replaced sooner if painting is delayed. A qualified experienced carpenter should perform this work.
- **Safety Issue:** Bee nests were noted in the gable vents. A qualified exterminator should be consulted.

Windows & Doors

- **Repair:** Localized rot was observed in the trim above an east window. Repairs should be undertaken and there is the risk of hidden damage. A qualified carpenter or painting contractor can perform this work.

Detached Garage

- **Improve: Safety Issue:** The garage door opener was disconnected at the time of the inspection. A qualified overhead garage door technician should be engaged. Upon reconnecting this unit, it should be tested. Proper operation of the reversing mechanism should be verified. *There is a serious risk of injury, particularly to children, under this condition.* Improvement may be as simple as adjusting the sensitivity control on the opener. This should be dealt with immediately.



- **Safety Issue:** The overhead garage door panel is rotted. It should be replaced as necessary.
- **Safety Issue:** Damaged springs were noted on the overhead garage door. These springs are powerful and are known to "snap". They should be replaced before use. A qualified overhead garage door contractor should perform this work.
- **Monitor:** Pronounced floor cracks were noted. While this amount of cracking is unusual, this slab does not appear to be structural component and the cracks are not offset. You should be aware of any trip hazard. As is the case with many garage floor cracks – this floor can still be used. Any further movement noted would warrant a consultation with a qualified foundation contractor.
- **Repair:** The wood sills of the structure are at or near grade level. Foundation walls should extend at least eight (8) inches above grade level so that wood structural members are protected from moisture and insect damage. Where insufficient clearance exists, grade level should be lowered, treated wood used, or an effective moisture barrier should be provided. During these improvements, further investigation of the wood sills should be undertaken as there is risk of hidden damage.



- **Major Concern:** The hardboard siding is only an average quality material. The siding material is delaminating (coming apart). Substantial rot has developed in various locations. Localized repairs, replacement and/or painting may extend the life of the siding. Wholesale replacement will ultimately be needed – a significant expense.
- **Monitor:** The garage loft structure does not appear strong enough to support heavy storage. Substantial strengthening will be needed if storage is planned. A qualified carpenter or building contractor can perform this work.

Lot Drainage

- **Improve:** The grading in a few locations should be improved to promote the flow of storm water away from the foundation. This can usually be accomplished by the addition of topsoil. In some cases, grading is required to accomplish the required slope. The ground should slope away from the house. A rate of one inch per foot for at least the first ten feet is a good rule of thumb. Ideally, at least eight (8) inches of clearance should be maintained between soil level and the top of the foundation walls. Window wells are often needed around basement windows to allow proper grading. A qualified landscaping contractor or excavator can effect this work.

Landscaping

- **Repair:** Shrubs growing close to the exterior walls should be kept trimmed away from siding, window trims, and the eaves to reduce risk of insect and water damage.

Porch

- **Deferred Cost:** The front porch masonry is deteriorating noticeably. Repairs or rebuilding are needed here and may involve significant expense. In the meantime, this stoop can be considered a trip hazard.



- **Monitor:** The front step is steep. It may not be practical to change this condition. Care should be taken when using this entry.
- **Monitor:** Staining was observed on the eave at the west side of the home. This suggests that the roof flashing ‘dribbles’ onto the fascia during a rain. This should be improved. If ignored, staining and eventual rot will result. Adjusting the flashing is needed.

Deck

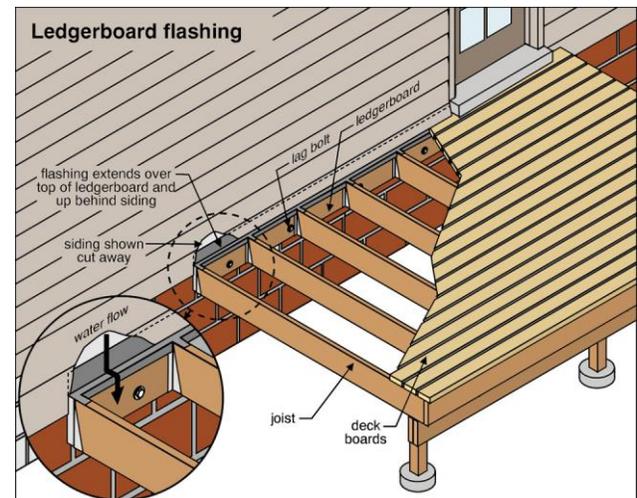
- **Safety Issue:** A handrail should be provided for the west deck.



- **Safety Issue:** The openings in the west deck railing are large enough to allow a child to fall through. It is recommended that this be corrected for improved child safety.

- **Repair:** A proper flashing should be provided at the intersection of the exterior wall of the house and the deck/porch at the west side of the home. This will help avoid water penetration and eventual rot. A

qualified carpenter or contractor can perform this work.



DISCRETIONARY IMPROVEMENTS

At some point, it may be desirable to surface the walkways.

LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- Storage in the garage restricted the inspection.
- Access below the rear deck was extremely limited.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



Electrical

DESCRIPTION OF ELECTRICAL

Size of Electrical Service:	<ul style="list-style-type: none"> •120/240 Volt Main Service –Service Size Approximated to be: 100 Amp, Entrance and Meter Located at the north west corner
Service Drop:	<ul style="list-style-type: none"> •Overhead
Service Entrance Conductors:	<ul style="list-style-type: none"> •Aluminum
Service Grounding:	<ul style="list-style-type: none"> •Copper •Water Pipe Connection
Main Disconnects:	<ul style="list-style-type: none"> •Location: in the panel box •Breakers •Main Service Rating 100 Amps
Service Panel:	<ul style="list-style-type: none"> •Location: in the basement •Breakers •Panel Rating: 100 Amp
Sub-Panel(s):	<ul style="list-style-type: none"> •None Visible
Distribution Wiring:	<ul style="list-style-type: none"> •Copper
Wiring Method:	<ul style="list-style-type: none"> •Non-Metallic Sheathed Cable "Romex" •Fabric-Covered
Switches & Receptacles:	<ul style="list-style-type: none"> •Grounded
Ground Fault Circuit Interrupters:	<ul style="list-style-type: none"> •Bathroom(s) •Kitchen
Smoke Detectors:	<ul style="list-style-type: none"> •Present: Battery Operated
Carbon Monoxide Detectors:	<ul style="list-style-type: none"> •Not Seen
Circuit Sizes:	<ul style="list-style-type: none"> •120V Circuits: 15, 20 amps •240V Circuits: 30, 40 amps

ELECTRICAL ATTRIBUTES AND COMMENTS

A qualified licensed electrician should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.

Positive Attributes

The size of the electrical service is sufficient for typical single family needs. Generally speaking, the electrical system is in good order. The electrical panel is well arranged and rated for both copper and aluminum. Three prong outlets were tested randomly with a plug in circuit analyzer. Most 3-prong outlets that were tested were appropriately grounded and light fixtures that were tested operated satisfactorily. The distribution of electricity within the home is good. The observed wiring within the home is copper, with exception of the larger aluminum wires. These are good quality electrical conductors.

Ground fault circuit interrupter (GFCI) devices have been provided in some areas of the home. These devices are extremely valuable, as they offer an extra level of shock protection. All GFCI's that were tested responded properly. Dedicated 220-volt circuits have been provided for all 220-volt appliances within the home. Much of the older wiring within the home has been updated, improving the safety of the system.

General Comments

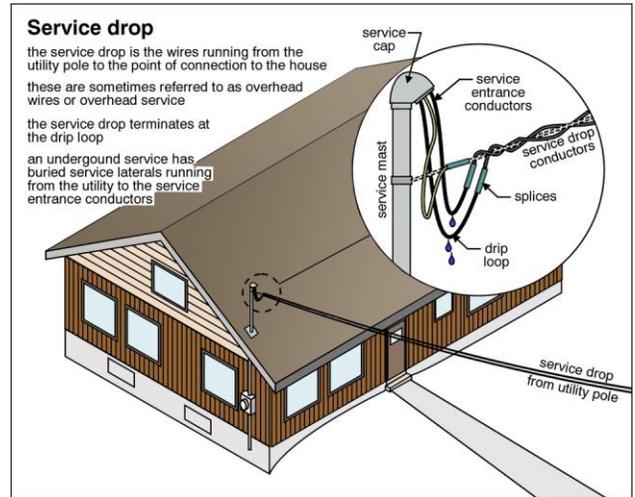
The electric system revealed the need for improvements and repairs. These improvements should be considered high priority for safety reasons. ***Unsafe electrical conditions represent a shock and/or fire hazard.*** A licensed electrician should be consulted to undertake the improvements recommended below and further review the system.



DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Service / Entrance

- **Improve:** The service wires do not have adequate clearance from the roof. The wires rub on the roof and could become "bare" to present a safety hazard. A service mast is typically installed to raise the height and form a better drip loop.



- **Repair:** The electrician should secure the loose meter.
- **Repair:** The service wires do not have adequate clearance from tree branches and are, in fact, touching the branches. The electric utility should be contacted for service.



Grounding

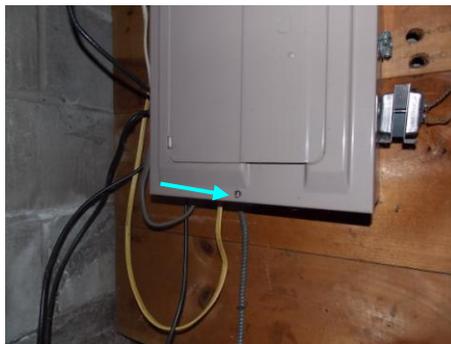
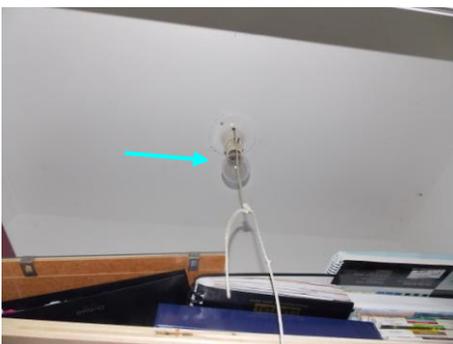
- **Improve:** A jumper wire should be installed across the water meter to ensure sufficient grounding of the electrical service.
- **Repair:** Additional bonding to ground is needed. The presence of gas piping requires the gas piping to be bonded to the ground system.

Main Panel

- **Safety Issue:** The main panel cover plate is missing the tightening screw and is therefore loose. Anyone could easily access this panel and be shocked or electrocuted. This should be replaced right away.
- **Improve:** The panel circuits should all be clearly and accurately marked by an electrician.
- **Monitor:** A circuit within the main distribution panel that is doubled up (referred to as a "double tap") could be separated. However, this one is for the doorbell and does not place significant demand on the circuit. The electrician may opt to leave it.

Distribution Wiring

- **Safety Issue:** Extension cords or adaptors in the basement and any others found should not be used as permanent wiring. This wiring should be removed.
- **Repair:** Sloppy wire connections at the boiler should be improved. A qualified licensed heating technician or licensed electrician should perform this work.



Outlets

- **Safety Issue:** A GFI outlet on the kitchen counter has reversed polarity (i.e. it is wired backwards). This outlet and the circuit should be investigated and repaired as necessary.
- **Safety Issue:** The installation of ground fault circuit interrupter (GFCI) devices is advisable on all exterior, garage, laundry, basement (bare floor), and kitchen counter outlets. Any whirlpool or swimming pool equipment should also be fitted with GFCI's. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.
- **Improve:** The dryer outlet should, ideally, have a four prong outlet installed. Current wiring practices require that the neutral and equipment be separate on a 240 volt appliance.

Lights

- **Safety Issue:** Florescent fixtures with covers are recommended in closets to prevent a fire hazard (from hot, incandescent bulbs).

Switches

- **Repair:** The inoperative light switch in the basement stairway should be repaired.

Smoke and Carbon Monoxide Detectors

- **Safety Issue:** The installation of carbon monoxide detectors outside all sleeping areas and one on each floor is recommended. **See also Environmental Issues – page 26.**
- **Repair:** The smoke detector(s) are required be replaced with photo electric type detectors. [VT Fire and Safety Information](#)

DISCRETIONARY IMPROVEMENTS

In addition to protecting hallways, additional smoke detectors are recommended in bedrooms within the home and CO detectors on each floor.

LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components that may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating

DESCRIPTION OF HEATING

Energy Source:	•Natural Gas
Heating System Type:	•Hot Water Boiler
Heating Unit:	•Boiler Manufacturer: Burnham •Serial Number: 7918828 •BTU output: 112,000 •# of Zones: 1 •Approximate Age: 22
Heat Distribution Methods:	•Cast Iron Radiators
Vents, Flues, Chimneys:	•Metal-Single Wall Flue into Masonry-Lined Chimney

HEATING ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.

Positive Attributes

The central heating system appears in generally good condition. Heat distribution within the home appears adequate. The boiler operated quietly, heated up, and distributed hot water throughout the activated zones as expected. No leaks were detected in the radiators. Heating a home with this type of heating system should be relatively economical. A “set back” thermostat controls the main floor zone of the heating system. This type of thermostat helps reduce heating costs.

A manual emergency shut off switch was noted at the top of the basement stair. Upward pitch was noted on the flue pipe. The flue connections were secure and the clearances as observed seemed reasonable. The chimney has been lined. This is an important safety consideration for a heating system of this type.



General Comments

The boiler requires service by a qualified, professional heating technician before use and every year thereafter. This should be a regular maintenance item to assure safe, reliable heat.

The heating system not been maintained. Minor repairs to the heating system are necessary.

The boiler is considered old as read on the information plate and evidenced by mild corrosion on various valves, dull and dirty appearance and slightly rusted jacket. It may be approaching the end of its life. It would be wise to budget for new.

OBSERVATIONS / DEFECTS / RECOMMENDATIONS

Boiler

- **Improve:** A low water cut off control was not found. This item helps safeguard the boiler in event of a boiler leak.
- **Monitor: Improve:** An Electric Firmatic control should be installed unless this unit has one already ‘built in’. A heating technician should be consulted.
- **Monitor:** Evidence suggests that the expansion tank serving the hot water heating system is waterlogged. Repair this item as part of system service to assure proper system operation.
- **Repair:** Sloppy wire connections at the boiler should be improved. A qualified licensed heating technician or licensed electrician should perform this work.
- **Monitor:** The original expansion tank appears to be abandoned. The heating technician should comment on this.

Piping / Radiators

- **Monitor:** Radiators sometimes need ‘air bleeding’ or even flushing. Recommend a qualified Plumbing /Heating Contractor service these now or at the time the boiler is serviced.

Combustion / Exhaust

- **Repair, Safety Issue:** The heating system shows evidence that exhaust products are “back drafting”. *This is a safety concern.* This condition results from any of a number of improper and potentially unsafe system conditions. We could smell combustion today. Review by a qualified service technician is needed before use.

Fuel Tank

- **Repair:** The oil tank copper supply line to the burner should not be buried in concrete. This can cause deterioration and leaking. It should be relocated and protected from mechanical damage. Oil leak cleanup, if extensive, could be costly.
- **Improve:** The old oil tank fill pipes should be removed to prevent accidental use.
- **Improve:** Oil tanks out of service for more than one year are required to be removed. [Above Ground Rules](#)

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interiors of flues or chimneys, which are not readily accessible, are not inspected.
- Although the heating system was operated, there are significant testing limitations at this time of year.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Insulation / Ventilation

DESCRIPTION OF INSULATION / VENTILATION

Attic Insulation:	•10+- inches Blown Cellulose in the Main Attic Floor
Roof Ventilation:	•Gable Vents
Exterior Wall Insulation:	•Unknown in the finished walls
Vapor Retarders:	•Unknown
Basement Wall Insulation:	•None Visible on the Unfinished Walls
Rim Joist Insulation:	•No
Exhaust Fan/vent Locations:	•Bathroom •Dryer

INSULATION / VENTILATION ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.



Positive Attributes

Insulation levels are typical for a home of this age and construction. No mildew or rot was noted on the underside of the roof sheathing. Based on the insulation seen and the evidence of insulation seen, this can be considered a moderately well insulated home.

General Comments

Upgrading insulation levels in a home is an improvement worth consideration. Getting an energy audit would be helpful in determining what measures you might want to take to increase your comfort level and energy savings. This will also help prevent plumbing from freezing. An Energy Management Consultant can perform this task.

DEFECTS / RECOMMENDATIONS / ENERGY SAVING SUGGESTIONS

Attic Ventilation

- **Improve:** The passage of air between the soffit and the roof cavity appears to be obstructed. “Baffles” should be provided to hold back insulation and vents installed to allow for free movement of air within the roof space. These items help reduce the potential for ice dams on the roof and condensation within the attic. This area should be further investigated and improved where necessary.

Basement

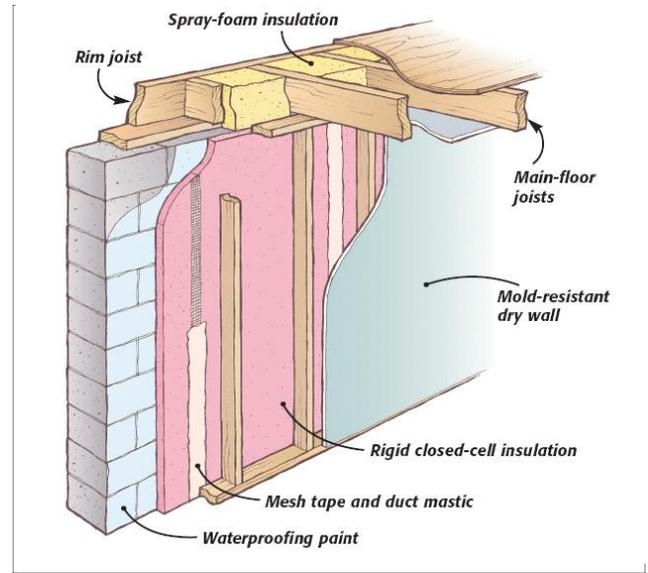
- **Improve:** Insulation improvements in the basement walls may be desirable. Recommend a qualified builder or insulation specialist design and perform this work.

- **Improve:** It would be wise to insulate the “rim joist” cavities around the perimeter of the basement.

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.
- The attic was viewed from the access hatch only.
- No access was gained to the wall cavities of the home.



Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Plumbing

DESCRIPTION OF PLUMBING

Water Supply Source:	<ul style="list-style-type: none"> •Public Water Supply – Evidenced by Basement Meter and Exterior Meter Reading Device
Service Pipe to House:	<ul style="list-style-type: none"> •Copper
Main Water Valve Location:	<ul style="list-style-type: none"> •Front Wall of Basement
Interior Supply Piping:	<ul style="list-style-type: none"> •Copper
Waste System:	<ul style="list-style-type: none"> •Public Sewer System (Reported by Seller) - Discharge Leaves the House at the Front Wall
Drain, Waste, & Vent Piping:	<ul style="list-style-type: none"> •Plastic •Cast Iron •Steel
Water Heater:	<ul style="list-style-type: none"> •Natural Gas •Manufacturer: A O Smith - Located in the Basement •TPRV Valve with Extension Going Toward the Floor •Approximate Capacity (in gallons): 40 / Read on the information Plate •Approximate Age: 31 •Serial Number: MH82-19180-910
Gas Storage & Distribution:	<ul style="list-style-type: none"> •Natural Gas – Metered - West Wall
Gas Shut-Off Valves:	<ul style="list-style-type: none"> •Natural Gas Main Valve at the Meter •Valves at the Boiler and Hot water Heater •Valve at the Kitchen Range not visible (access impractical)

PLUMBING ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.

Positive Attributes

The plumbing system is in generally good condition. The water pressure supplied to the fixtures is reasonably good. A typical drop in flow was experienced when all fixtures in each bath were operated simultaneously. A plumbing vent pipe was observed to penetrate the roof in good condition. Some of the plumbing fixtures within the home have been upgraded. The plumbing fixtures appear to have been well-maintained.

Hot Water

The water heater temperature should be set such that accidental scalding is minimized. Families with small children should be especially aware of this. Upward pitch was noted on the flue pipe. The chimney has been lined. This is an important safety consideration for a heating system of this type.

General Comments

Some of the installation of the supply and waste piping is non-standard. It is suspected that an amateur, rather than a licensed plumber performed installation over the years. The presence of sufficient venting for the waste piping is suspect in places. Recommend monitoring for sewer odors. Low pressure, leaks, or cross connections are sometimes found in the supply. These conditions need updating when repairs or improvements are conducted to all or a part of the system.

DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Water Heater

- **Deferred Cost:** The water heater is an old unit that is beyond the expectation of its useful life. It would be wise to budget for a new unit. One cannot predict with certainty when replacement will become necessary.

Waste / Vent

- **Repair:** Unsealed opening in the waste piping should be corrected.



- **Monitor:** The presence of sufficient venting for the washing machine waste piping is suspect. A sewer odor was detected at the laundry. Recommend monitoring for sewer odors. A licensed plumber could install a conventional, properly vented standpipe. **See also Clothes Washer - page 29**
- **Monitor:** For the most part, the waste piping leading to the street is old. It may be prone to unexpected problems. Improvement is recommended on an as needed basis.
- **Monitor:** Roto Rooter stickers were noted in the basement. This is an indication of previous blockage of drain lines. Recommend consulting the owner as to any problems that were experienced.

Gas Meter and Piping

- **Improve, Potential Safety Issue:** The gas meter at the west side of the home should be better protected from mechanical damage - snow plow, autos etc. A barrier is usually the way to accomplish this. The gas company should perform this work

DISCRETIONARY IMPROVEMENTS

Freeze resistant hose bibs (exterior faucets) could be installed. This would be a nice convenience. In the interim, the exterior faucets should be turned off for winter to avoid freezing.

LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.
- Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.
- Interiors of flues or chimneys, which are not readily accessible, are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Interior

DESCRIPTION OF INTERIOR

Wall and Ceiling Materials:	•Drywall •Plaster
Floor Surfaces:	•Carpet •Vinyl/Resilient •Hardwood
Window Type(s) & Glazing:	•Single Pane: •Double Hung with Storm Windows •Fixed Pane
Doors:	•Wood Panel Doors

INTERIOR ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.



General Condition of Interior Finishes

On the whole, the interior finishes of the home are in above average condition. Typical minor flaws were observed in some areas.

General Condition of Windows and Doors

The doors and windows are average quality. The windows have been lacking maintenance. Cleaning, paint, putty, hardware adjustments and lubrication will be needed. A sample of windows and doors were opened and seemed to operate freely. No rotted parts or inoperable hardware were noted in the windows that were opened.

General Condition of Floors

The floors of the home are relatively level and walls are relatively plumb. The observed hardwood flooring was very good. The finish was bright and the floor was lying flat and even with very little wear. The floors have a noticeable squeak.

DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Windows

- **Monitor:** The upper window sashes are painted shut in many locations. Improvement can be undertaken as desired.

Door Bell

- **Repair:** The door bell buttons are missing.

Environmental Issues

- **Monitor:** There is the potential for lead content in the drinking water within the home. Lead in water may have two sources; the piping system of the utility delivering water to the house and/or the solder used on copper pipes prior to 1988. This can only be confirmed by laboratory analysis. An evaluation of lead in water is beyond the scope of this inspection. For more information, consult http://healthvermont.gov/enviro/lead/lead_water.aspx .
- **Monitor:** Lead based paint was in use until approximately 1978. According to the Federal Department of Housing and Urban Development, a lead hazard can be present in a house of this age. This can only be confirmed by laboratory analysis. An evaluation of lead in paint is beyond the scope of this inspection. For more information, consult http://healthvermont.gov/enviro/lead/lead_paint.aspx .
- **Monitor:** Radon gas is a naturally occurring gas that is invisible, odorless and tasteless. A danger exists when the gas percolates through the ground and enters a tightly enclosed structure (such as a home). Long term exposure to high levels of radon gas can cause cancer. *The Environmental Protection Agency (E.P.A.) states that a radon reading of 4.0 picocuries per liter of air or more represents a health hazard.* A radon evaluation is beyond the scope of this inspection (unless specifically requested). For more information, consult the Environmental Protection Agency (E.P.A.) <http://www.epa.gov/radon/pubs/hmbyguid.html> or the Vermont Occupational and Radiological Health (1-800-640-0601) for further guidance and a list of testing labs in your area.
- **Monitor:** Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning furnace, range, dryer, water heater, space heater, automobile, or wood stove. Proper maintenance of these appliances paired with installing Carbon Monoxide detectors within the home is one of the best ways to reduce the risk of carbon monoxide poisoning. <http://www.dps.state.vt.us/fire/co.htm>

DISCRETIONARY IMPROVEMENTS

Install new exterior lock sets upon taking possession of the home.

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Window treatments, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



Fireplaces / Wood Stoves

DESCRIPTION OF FIREPLACES / WOOD STOVES

- | | |
|--------------------------------|-------------------------------------------------------------|
| Fireplaces: | •Masonry Firebox |
| Wood/Gas Stoves: | •None |
| Vents, Flues, Chimneys: | •Outside Combustion Air Not Provided •Masonry Chimney-Lined |

FIREPLACES / WOOD STOVES ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.

Positive Comments

On the whole, the fireplace and most components are in good condition. The wood surrounding mantelpiece was well attached and in good condition. The brick surrounding wall/mantelpiece was well attached and in good condition. The concrete hearth and trim was good. Joints were reasonably tight. No cracks were noted.



DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Fireplaces

- **Repair:** The fireplace chimney should be swept and inspected by a C.S.I.A. certified chimney sweep prior to operation. It was observed to be dirty with deposits. See also **Chimney** – page 10
- **Repair:** Debris in the “clean out” area at the base of the chimney should be removed as part of system service.
- **Repair:** The fireplace damper is rusted away and requires repair.



LIMITATIONS OF FIREPLACES / WOOD STOVES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- The interiors of flues or chimneys are not inspected.
- Firescreens, automatic fuel feed devices, combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected.
- The inspection does not involve igniting or extinguishing wood fires nor the determination of draft.
- Fireplace inserts, stoves, or firebox contents are not moved.
- Ashes from previous fires and a few logs restricted observation of the fireplace.
- The adequacy of the fireplace draw cannot be determined during a visual inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Kitchen and Appliances

DESCRIPTION OF KITCHEN AND APPLIANCES

Kitchen Sink:	•Metal Sink
Kitchen Countertops:	•Plastic Laminate Countertop installed •Wood (Cherry) Countertop installed
Tested Appliances:	•newer Kenmore Gas Range •older Kitchen Aid Dishwasher •mid aged Kenmore Waste Disposer •mid aged Frigidaire Refrigerator
Other Components Observed:	•Wood Cabinets Installed

KITCHEN AND APPLIANCES ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.

Positive Attributes

Cabinets and counters were in good condition. No obvious damage, scratches or chips were observed. All cabinet hardware tested was firm and operated smoothly. The wood countertops are considered high quality and are neatly installed. The counters were secure. The cabinets were firmly attached. The appliances are considered to be in generally good condition. All appliances that were tested responded satisfactorily:

- The dishwasher ran through a short cycle and drained normally.
- All of the range burners/elements gave heat, as did the oven bake and broil.
- Items in the refrigerator compartments were frozen and cold respectively.
- The garbage disposal operated as expected – no leaks or excessive noise.



DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Gas Range

- **Potential Safety Issue:** An anti-tip device could not be seen behind the oven. One should be installed according to the manufacturer's directions. This will reduce the risk of tipping of the appliance from abnormal usage or by excessive loading of the oven door.

Dishwasher

- **Monitor:** The dishwasher is an older unit. It would be wise to budget for a new unit. In the interim, a higher level of maintenance can be expected.

DISCRETIONARY IMPROVEMENTS

A kitchen exhaust hood fan could be installed, ideally discharging to the building exterior.

LIMITATIONS OF KITCHEN AND APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Bathrooms and Laundry

DESCRIPTION OF BATHROOMS AND LAUNDRY

Bathroom Location:	•1 on the first Floor: - Full Bath (tub & shower),
Floor Covering:	•Vinyl/Resilient
Laundry Facility:	•Located: in the basement •Circuit for Dryer: 240 Volt •Dryer Vented to Building Exterior •120 Volt Circuit for Washer •Hot and Cold Water Supply for Washer •Washer Discharges to Laundry Tub/Sink
Tested Appliances:	•older RCA Clothes Washer •older Kenmore Clothes Dryer
Other Components Observed:	•Bathroom Exhaust Fan •Laundry Tub

BATHROOMS AND LAUNDRY ATTRIBUTES AND COMMENTS

A qualified technician or professional should effect any recommendations resulting from the following observations that include consulting, repair and/or replacement.

Positive Comments

The bathroom, and laundry facilities appear neat, clean, well organized and in good working condition. The bathroom has been recently remodeled/refurbished. The workmanship and finish detail look neat and professional. The laundry appliances were observed to be in generally good condition: Water came in the washer, splashed, pumped out and spun with no apparent leaks. The dryer turned and gave heat. It was hooked to an exterior vent.

The bathroom fixtures were in good working condition. The sink drained as expected when the stopper was pulled. No leaks were noted under the sink. The faucet gave water with no leaks. The sink and toilet were firmly secured. The toilet flushed completely. Some of the bath fixtures/faucets within the home have been upgraded. The bathtub drain held an inch of water and then drained when released. The tub/shower surround was in good condition. Surfaces were bright with no serious damage/scratches or rot. No leaks under these fixtures were noted in the basement.



DEFECTS / OBSERVATIONS / RECOMMENDATIONS

Clothes Dryer

- **Improve:** The clothes dryer exhaust vent pipe should be improved and cleaned of lint. If ignored, this can become a fire hazard.

Clothes Washer

- **Repair:** The operation of the clothes washer is suspect. A sewer odor was detected at the washer ran. Further review by a service technician is recommended.
- **Improve:** The presence of sufficient venting for the washing machine waste piping is suspect. Recommend monitoring for sewer odors. A licensed plumber should install a conventional, properly vented standpipe or air admittance valve.

This confidential report is prepared exclusively for -----

DISCRETIONARY IMPROVEMENTS

The clothes dryer exhaust vent pipe should be periodically cleaned of lint. If ignored, this can become a fire hazard.

'Flexible steel hoses' are recommended for the washing machine to reduce the possibility of a broken or burst hose. Washer hoses are under pressure (if not turned off) and can cause extensive damage when they burst.

LIMITATIONS OF BATHROOMS AND LAUNDRY INSPECTION

As prescribed in the pre-inspection contract, this is a visual inspection only. The inspection was limited by (but not restricted to) the following conditions:

- Clothes washing machine connections are not inspected.
- Components concealed behind finished surfaces could not be inspected.
- The bathtub overflow drain(s) are not tested.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.
